



Inspection Report

Sample Report

Property Address:
1234 Anyplace Terrace
Yourtown MN



Structure Tech Home Inspections

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Saint Louis Park, MN 55416
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Date: 10/1/2019	Time: 9:00 am	Report ID:
Property: 1234 Anyplace Terrace Yourtown MN	Customer: Sample Report	Real Estate Professional:


The service recommendations that we make in this report should be completed by licensed, qualified, competent specialists, who may well identify additional defects or recommend some upgrades that could affect your valuation of the property. This inspection was conducted in accordance with the [ASHI Standard of Practice](#).

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Comment Key

 **Acceptable** The item, system or component was functional.

 **Comment** Information that may include links, suggestions for improvement, or maintenance reminders.

 **Attention Recommended** Service, maintenance, repair, or replacement is recommended.

 **Safety Upgrade** A recommendation for added safety.

 **Unacceptable** The item, system or component is not functioning properly or is unsafe. Have this serviced ASAP.

 **Further Inspection Recommended** The item, system or component could not be fully inspected. Further inspection is recommended by a professional in a related field.

Style of Building:

Townhouse

Type Of Construction:

Wood Frame

Weather:

Clear, Recent Rainfall

Temperature:

75 - 80 Degrees

1. Intro

Items

1.0 Purpose

The purpose of the inspection was to assess, to the degree possible from the ground, the items outlined in the Yourtown Townhomes Preventive Maintenance Plan (PMP).

1.1 Limitations

As requested by the HOA, the inspection was conducted from the ground only. No ladders were used during the inspection. Only items that could be reasonably evaluated from the ground are included in this report.

2. General Community Comments

Items

2.0 Brick/Stone

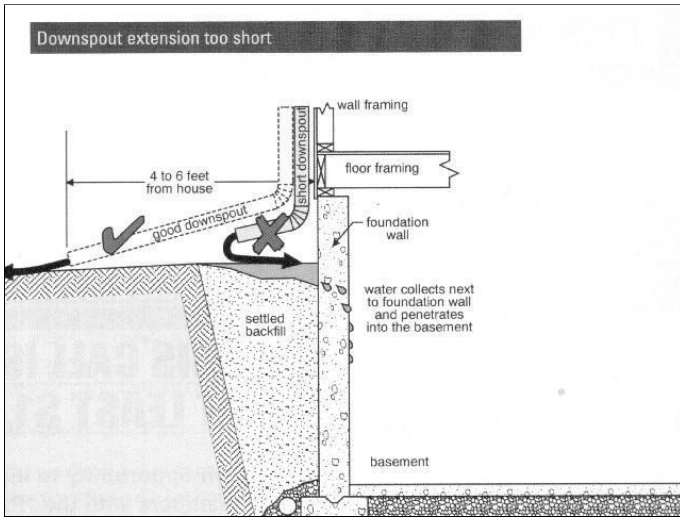
🔍 Multiple sections of flashing over the brick veneer that were lifted throughout the community. Have the flashing secured and sealed to prevent water intrusion behind the brick veneer.



Example

2.1 Gutters, Downspouts, Drainage, and Grading

(1) A majority of the garage downspouts lacked proper extensions to carry the water away from the foundation. Downspouts dumping water against the building will concentrate water and greatly increase the potential for water problems and foundation problems. Add solid aluminum downspout extensions to carry the water at least 6 feet away from the house and beyond any landscape edging. Unit 4340 had an extension directed back toward the front entry.



One example. A majority of the downspouts lack proper extensions



Moisture noted at inside of garage at unit 9163



Unit 4340

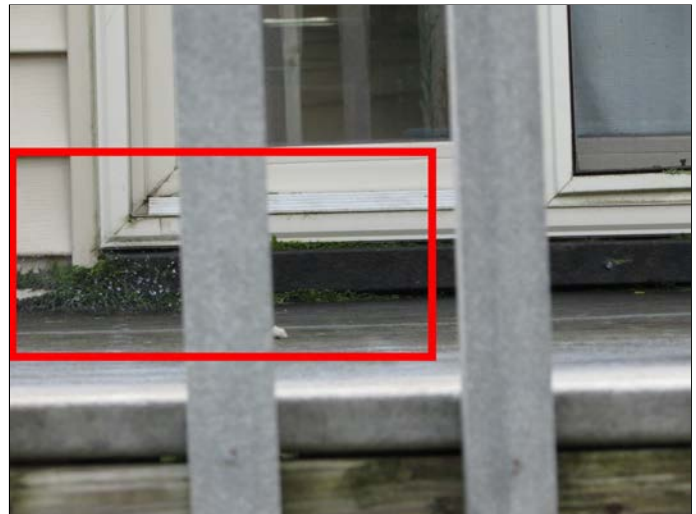
- (2) The downspouts at the front of the buildings drained onto the sidewalks and may cause ice buildup in the winter. Monitor for icing and re-direct these downspouts as necessary during the winter to help prevent a fall hazard.



- (3) Gutters were only partially installed at various areas throughout the community. A complete gutter system is recommended for moisture control at the foundation and to help prevent damage to the house at areas such as decks where splashing water can accelerate deterioration and contribute to water intrusion. Consider having a full system of gutters and downspouts installed.



Typical type of deterioration where water splashes off decks without gutter protection



Heavy moss growth, unit 4373

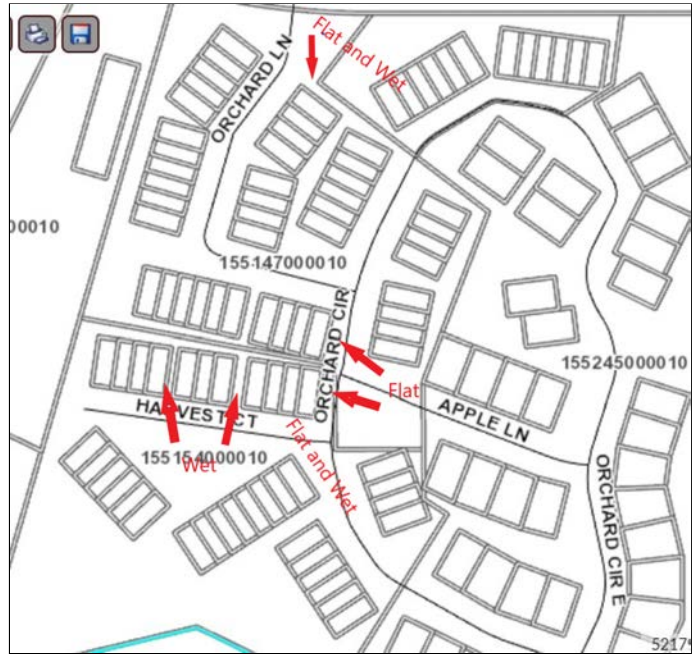
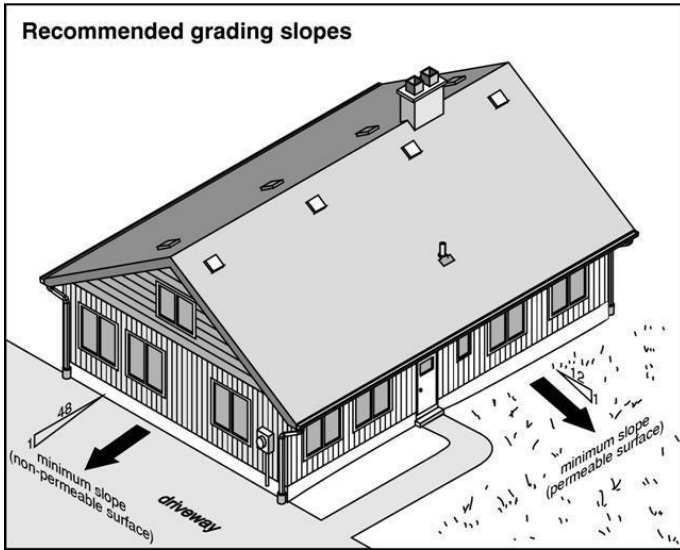


Unit 4373

- (4) On units with a partial gutter installed at the deck, some downspouts noted lacked proper extensions to carry the water away from the deck footings. Downspouts dumping water near the footings will concentrate water against them and greatly increase the potential for problems with settled footings or frost heaves. Add solid aluminum downspout extensions to carry the water at least 6 feet away from the footings.



(5) The ground sloped toward the buildings or was flat in areas next to the buildings, which could lead to water entering the basements and/or cause excessive soil pressures against the foundations. The soil or the hard surfaces should slope away from the buildings for at least ten feet if possible, to help prevent basement water intrusion and foundation problems. Re-grade where possible to provide positive slope away from the buildings.



Unit 9161 - flat grading



Negative slope sidewalk unit 9161



Unit 4373 - flat grading



Generally flat behind building 10

2.2 Lighting Fixtures and Outlets

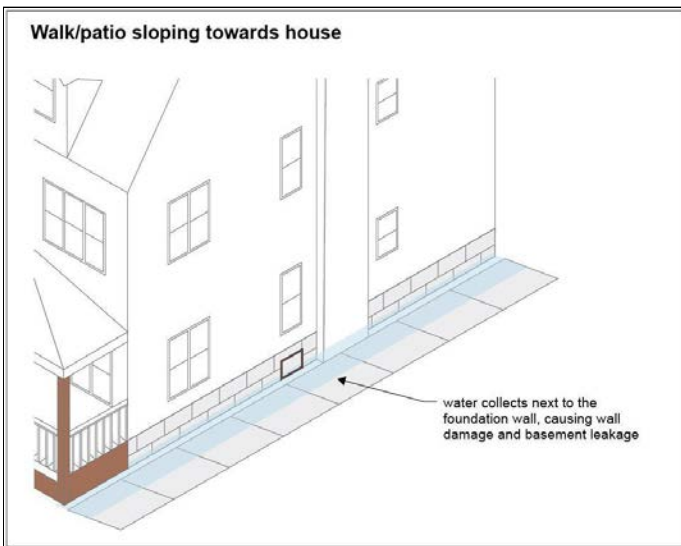
There were numerous light fixtures at the garages that were loose and not mounted properly to the electrical boxes. Have the lights secured to help prevent damage to the fixtures, movement, and to lower the risk of a fire.

2.3 Painting

Many of the front doors had deterioration and/or peeling paint noted at the trim. Repair or replace the affected door trim and repaint.

2.4 Porches, Patios and Decks

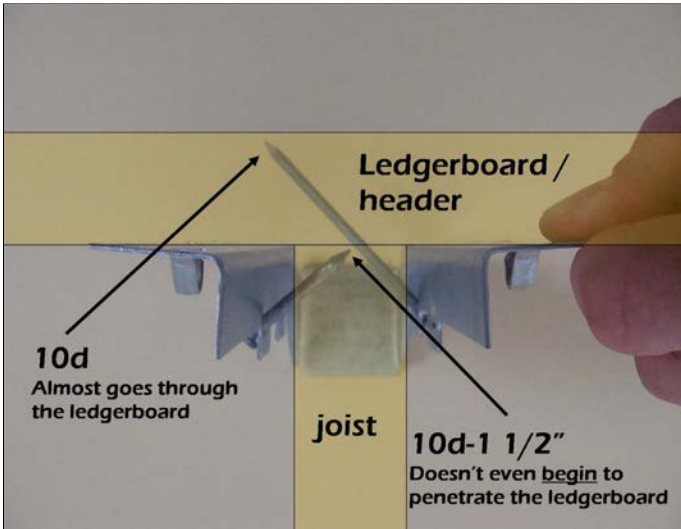
(1) The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking. Units noted: 9166, 9162, 4318, 4320, 4322, 4328, 4330, 4332, 4340, 4344, 4348, 4352, 9162, 9156, 9152, 9184, 9188, 9192, 9221, 9223, 9225, 9227, 9201, 9195, and 9193.




Example




(2) Improper nails were used at the joist hangers at all the buildings. The joist hangers support the deck and now have the potential to fail. There were also missing nails at many of the hangers. Additionally, some joists were noted to be pulling away from the ledger board at numerous units. Have this corrected. For information on this correction, click here: [How to Correct Improper Joist Hanger Nails](#)




missing nails

 (3) There were improper joist hangers used at the ends of the ledger boards. These end joists have hangers specifically designed for these locations. Have this corrected.



 (4) Almost all of the deck footings were not visible at the surface of the grade or landscaping and the posts were in contact with the soil. Monitor the deck posts for rotted wood.



 (5) There were multiple decks throughout the community that likely have heaved. This may be due, in part, to the poor locations of the sump discharge and downspout piping.

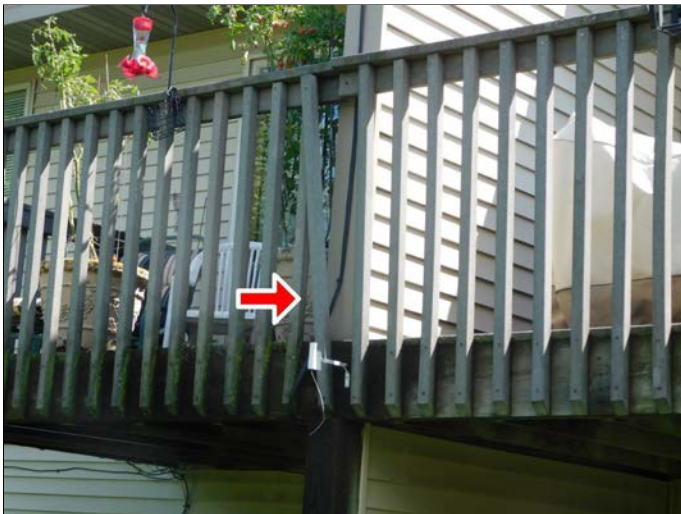



Example of frost heave

- (6) There was temporary bracing installed at unit 4330 beneath the diagonal bracing beneath the deck. This shouldn't be necessary after the defects noted at the joist hangers are corrected.




- (7) There were loose balusters noted at decks throughout the community. Have all balusters secured to help prevent injuries from falling.



-  (8) There was rot noted at the kick plate at multiple units. Have the affected plates replaced to help prevent water intrusion.





-  (9) There was cracked diagonal bracing at multiple decks throughout the complex.



Example

2.5 Siding, Trim, Doors and Overhead Doors

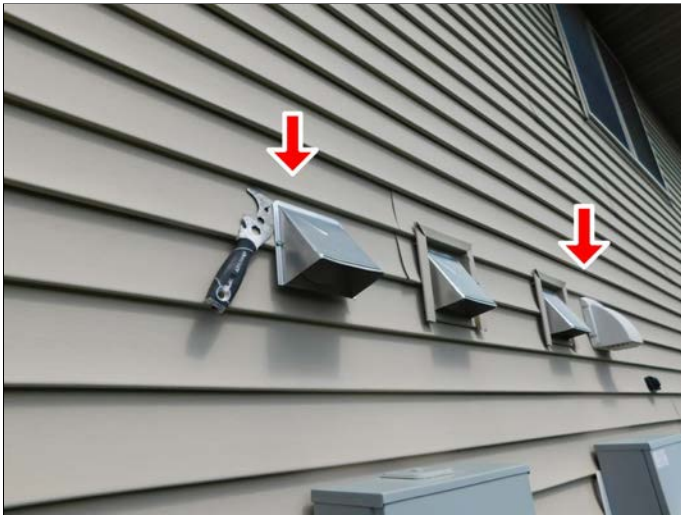
-  (1) There was damaged metal wrap and/or chipping and peeling paint noted at many of the garage door trim details throughout the community. Damaged or deteriorated materials should be replaced.
-  (2) Multiple sump discharges were noted to be in poor locations such as at deck footings, gas meters, or AC condensers. Consider redirecting or relocating any discharge directed to of the items noted above to help prevent unintended damage.

- (3) There were some sump pump discharge tubes that were directed into a corrugated tube that runs across the lawns. This has the potential to fill with ice and prevent the pumps from functioning properly during the winter. Remember to disconnect the corrugated extension tubing in the fall. For more information on this topic, click here: [Potential for Freezing at the Exterior](#)




Building 4

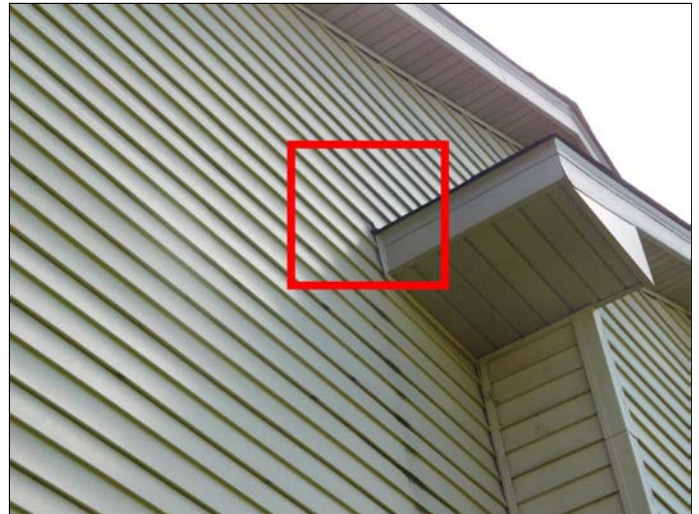
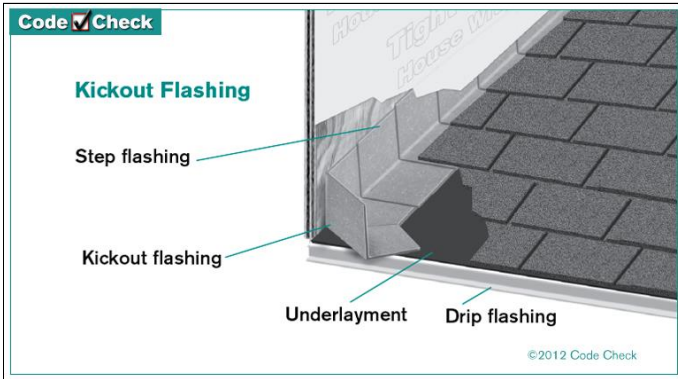
- (4) There was excessive lint accumulation around numerous dryer vent exhaust covers. This is a potential fire hazard and could allow air leakage and pest intrusion. Have the dryer ducts and terminals cleaned. For more information, click here: [Dryer Ducts](#)
- (5) Multiple vent covers throughout the community were not properly installed, were loose, and not caulked or flashed. Have this corrected to help prevent water intrusion.





2.6 Roofing

 Kickout flashing was not installed at most of the roof/wall intersections, which is recommended to help prevent moisture intrusion at roof/wall intersections. Consider having kickout flashing installed at these locations to help prevent water intrusion. For more information on this topic, click here: [Kickout Flashing](#)



Example



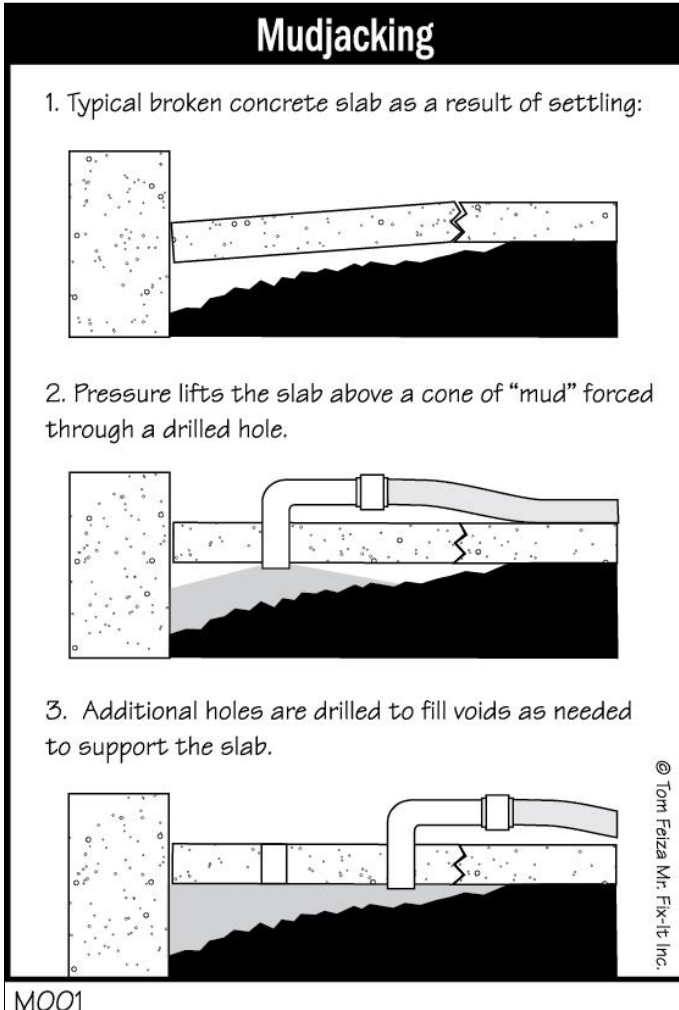
Example



Example

2.7 Concrete and Flatwork

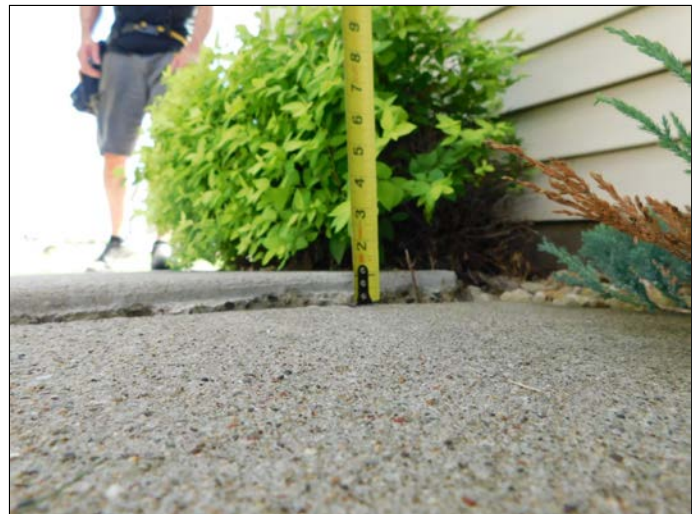
👉 (1) Several walkways have settled, cracked and/or are uneven. This can be a trip hazard and prevent proper drainage of water away from the buildings. Have this corrected. Consider mudjacking or sandjacking for correction.



Unit 9167



Unit 9152



Unit 9205



Unit 9193



Unit 9205

(2) Any gaps between the garage floors and the driveways should be sealed to help prevent water intrusion and soil erosion beneath the floor, which can lead to foundation damage.



Example



building 7

2.8 Guest Parking Areas

i There were exposed stone faces at the asphalt driveways and common parking areas throughout the community, indicating it's time to apply a sealcoat. This is a regular maintenance item which will help to preserve the life of the driveways.



Example - all driveways were similar



Area A



Area B



Area C



Area D



Area E



Area F

2.9 Irrigation Systems

i The irrigation system(s) were not evaluated. The American Society of Home Inspectors (ASHI) standards of practice (SOP) specifically excludes irrigations from the inspection process. Have the irrigation system inspected by a qualified contractor.

Siding:

Vinyl

Roofing Materials:

Architectural Shingles

Foundation:

Concrete Block

3. Building 1

Items

3.0 Lighting Fixtures and Outlets

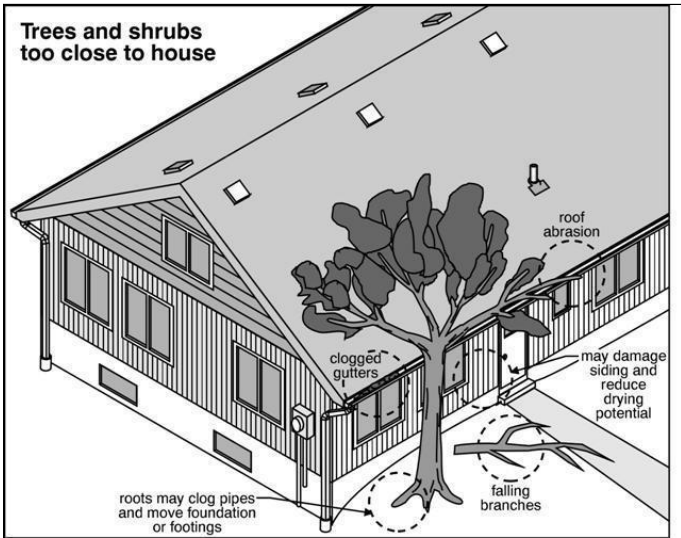
e (1) There was a exterior outlet that had missing or a damaged weatherproof cover at unit 9223, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.

(2) There was a cut ground wire at one of the units at building 1. This should be corrected by a licensed electrician. Additionally, several ground rods were sticking out of the ground, likely because the ground has settled over time. All are potential trip hazards. Have this corrected for safety.





3.1 Siding, Trim, Doors and Overhead Doors


(1) There were tree branches in contact with the roof at building 1. Trees should be kept trimmed at least 6' away from the siding and roof to prevent damage to the building, and to help keep pests like squirrels and raccoons off the roof. Trim the tree branches back.

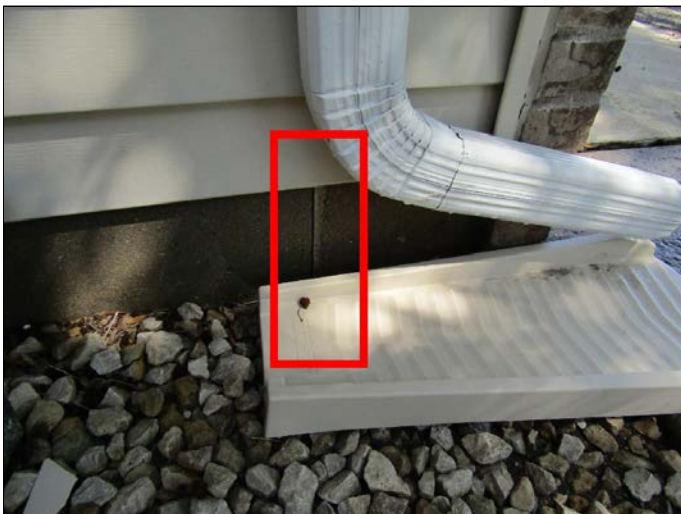




-  (2) There were damaged garage door panels noted at unit 9225. Repair or replace the damaged panels or whole door if necessary.
-  (3) There was peeling paint noted at the overhead garage door of unit 9229. Have the door serviced.



-  (4) There were some small cracks and gaps at a few foundation walls. Seal the cracks with mortar and monitor for any future movement.






(5) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.





3.2 Soffit and Fascia


 There was some loose and damaged sections of soffit at building 1. This could allow for pest intrusion and should be serviced.




4. Building 2

Items



4.0 Lighting Fixtures and Outlets

 (1) There was a exterior outlet that had missing or a damaged weatherproof cover at unit 9187, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.


-  (2) There were missing globes at the back of the units at building 2. Have the globes replaced.



4.1 Siding, Trim, Doors and Overhead Doors

-  (1) There were damaged garage door panels noted at unit 9197 and 9209. Repair or replace the damaged panels or whole door if necessary.
-  (2) There was a severely damaged garage door at 9201 Orchard Lane. Have the door repaired or replaced.

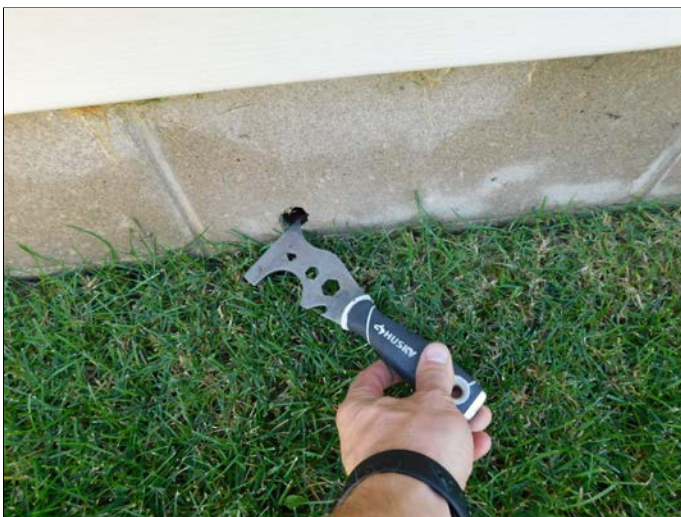


-  (3) There was bird nesting material located at unit 9187 and 9201. Have the nests removed to help eliminate bird activity.

- (4) There was a small crack at the garage foundation wall. Seal the crack with mortar and monitor for any future movement.



- (5) There was a small hole in the foundation at unit 9209. Have the hole filled with mortar to help prevent pest intrusion.



North wall of building 2

- (6) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.





5. Building 3

Items

5.0 Brick/Stone

There was a loose brick at the wall of unit 9171. Have the brick repaired.

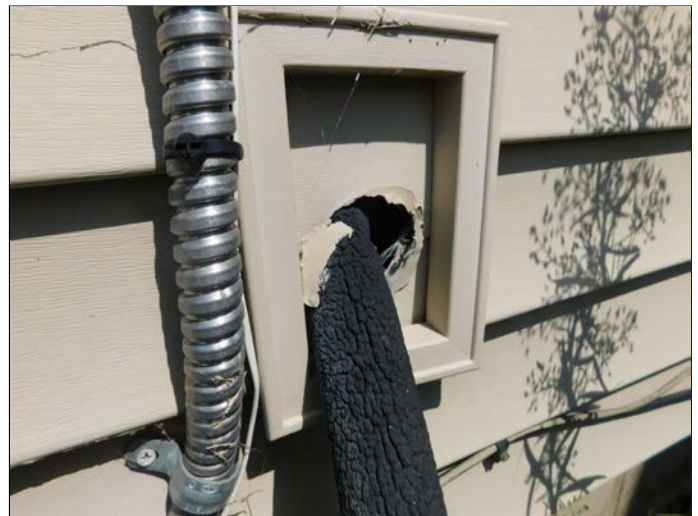


5.1 Lighting Fixtures and Outlets

There were loose outlets that should be secured to help prevent loosening of the wires which could lead to sparking or arcing at unit 9169. Have this corrected.

5.2 Caulking and Weatherstrip

- (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



- (2) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



5.3 Siding, Trim, Doors and Overhead Doors

- (1) There were damaged garage door panels noted at unit 9171 and 9179. Repair or replace the damaged panels or whole door if necessary.

📍 (2) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



- (3) The CSST gas tubing for the gas fireplace at the back of the building (possibly unit 9173 or 9177) was improperly installed. The tubing runs along the surface of the ground at the side of the building, where it could be damaged. Have the tubing secured and protected at the side of the building.

Also, the gas piping was not properly bonded, which is a requirement when CSST (Corrugated Stainless Steel Tubing) is used for gas piping. Bonding the gas piping to the electrical system is required to reduce the risk of damage and fire from a lightning strike. Have this corrected. For more information about bonding CSST, click here: [CSST Bonding](#)



- (4) There were damaged louvers at the vent at unit 9173. Have this replaced to help prevent pest and exterior air intrusion.



- (5) There was a small crack at the garage foundation wall. Seal the crack with mortar and monitor for any future movement.



6. Building 4

Items

6.0 Gutters and Downspouts

- The municipal water shutoff was protruding from the ground at unit 9167, which is a potential trip hazard. Consider correcting if possible.



6.1 Lighting Fixtures and Outlets

🔧 A light fixture at unit 9167 had broken or missing glass. Have the fixture repaired or replaced.



6.2 Caulking and Weatherstrip

🔧 (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.

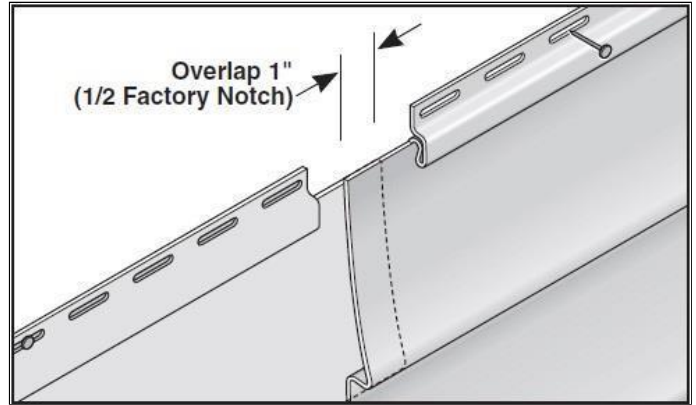


🔧 (2) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



6.3 Siding, Trim, Doors and Overhead Doors

- (1) There was a piece of siding that appeared to be cut too short or have moved from expansion/contraction, leaving gaps in the siding. This could allow unnecessary water intrusion behind the siding. Have this corrected to allow for a proper 1" overlap.



- (2) There were damaged garage door panels noted at unit 9161 and 9165. Repair or replace the damaged panels or whole door if necessary.
- (3) There was a noted bow in the wall at unit 9165. Monitor for further movement. Any chances should be evaluated further.



7. Building 5

Items

7.0 Lighting Fixtures and Outlets

- A light bulb was missing at an exterior fixture at unit 4369. Have a light bulb installed.

7.1 Caulking and Weatherstrip

- (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



- (2) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



7.2 Siding, Trim, Doors and Overhead Doors

- (1) There was bird nesting material located at unit 4373 and 4361. Have the nests removed to help eliminate bird activity.



- (2) There was a loose, damaged or missing piece of vinyl siding at the building. Have the loose piece of siding secured to lower the potential for water intrusion or wind damage.




8. Building 6

Items


8.0 Lighting Fixtures and Outlets

- A light bulb was missing at an exterior fixture at unit 4345. Have a light bulb installed.

8.1 Caulking and Weatherstrip


-  (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



-  (2) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



8.2 Siding, Trim, Doors and Overhead Doors

-  (1) There were damaged garage door panels noted at unit 4345. Repair or replace the damaged panels or whole door if necessary.

- (2) There was peeling paint noted at the overhead garage door of unit 4351. Have the door serviced.




- (3) There was bird nesting material located at unit 4341. Have the nests removed to help eliminate bird activity.




- (4) A window was broken out and boarded up at unit 4341. Have the window replaced.



-  (5) There was a loose, damaged or missing piece of vinyl siding at the building. Have the loose piece of siding secured to lower the potential for water intrusion or wind damage.



8.3 Soffit and Fascia


-  Soffit material was missing at unit 4341. Have this corrected to prevent water, pest, and rodent intrusion.



9. Building 7

Items

9.0 Lighting Fixtures and Outlets

-  There was a exterior outlet that had missing or a damaged weatherproof cover at unit 4319, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.

9.1 Caulking and Weatherstrip

- (1) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



- (2) Caulk around the gas line where it enters the building. This will help prevent water intrusion, pest intrusion, and air leakage.



9.2 Siding, Trim, Doors and Overhead Doors

- (1) There were damaged garage door panels noted at unit 4331. Repair or replace the damaged panels or whole door if necessary.

(2) There was a bird nest located at unit 4319. Have the nests removed to help eliminate bird activity.



(3) The head flashing above a window was caulked at unit 4319. This flashing provides a drainage plane for water, and the caulking could hold water inside the wall at this location, increasing the potential for water damage at the walls. For more information on this topic, click here: [Don't Caulk Head Flashing](#)



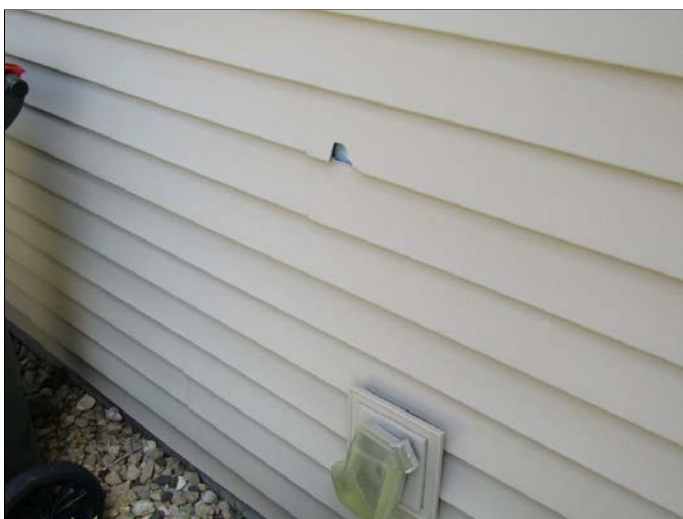
(4) There was bird nesting materials in multiple dryer vents at building 7. Have the materials cleared out for proper operation of the dryer, to reduce the potential for fire, and reduce the potential for carbon monoxide buildup in the homes.



- (5) There was a missing vent terminal at the back of building 7.



- (6) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



10. Building 8

Items

10.0 Lighting Fixtures and Outlets

- (1) There were loose outlets that should be secured to help prevent loosening of the wires which could lead to sparking or arcing at unit 4320. Have this corrected.
- (2) A light bulb was missing at an exterior fixture at unit 4320. Have a light bulb installed.

10.1 Caulking and Weatherstrip

- 🔍 Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



10.2 Porches, Patios and Decks

- 🔍 The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

10.3 Siding, Trim, Doors and Overhead Doors

- 🔍 (1) There was bird nesting material located at unit 4320 and 4332. Have the nests removed to help eliminate bird activity.



(2) Staining was noted at several walls. This is a cosmetic concern.



(3) There were bee's / wasp's nests at the dryer vent. Have them removed allow proper air flow.



- (4) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.







11. Building 9

Items


11.0 Lighting Fixtures and Outlets

-  (1) There were damaged light fixtures or fixtures missing globes at units 4364 and 4354. Have the fixtures replaced.
- (2) A light bulb was missing at an exterior fixture at unit 4348. Have a light bulb installed.


11.1 Caulking and Weatherstrip

-  (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.




-  (2) Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



-  (3) The sump discharge pipe was plugged at unit 4340. Have this corrected to allow the sump to drain properly.



11.2 Porches, Patios and Decks

-  The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

11.3 Siding, Trim, Doors and Overhead Doors

- (1) There was bird nesting material located at unit 4352. Have the nests removed to help eliminate bird activity.



- (2) There were bee's / wasp's nests at the combustion air intake vent at building 9. Have them removed.



- (3) Staining was noted at a couple walls. This is a cosmetic concern.



- (4) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.

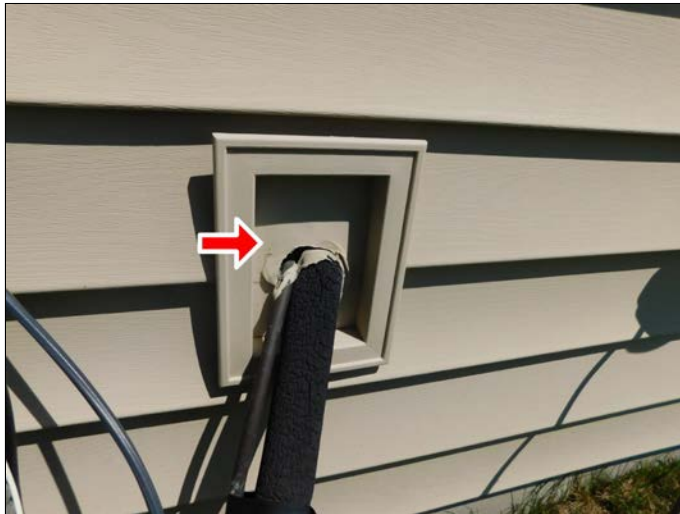


12. Building 10

Items

12.0 Caulking and Weatherstrip

- (1) Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



- (2) Caulk around the abandoned gas line where it entered the building. This will help prevent water intrusion, pest intrusion, and air leakage.



12.1 Siding, Trim, Doors and Overhead Doors

- (1) There was bird nesting material located at unit 9083 and 9095. Have the nests removed to help eliminate bird activity.



- (2) There was a duct of an unknown purpose that passed through the ledger board at building 10 (possibly unit 9087). Have the gaps around the pipe filled to help prevent water and pest intrusion.



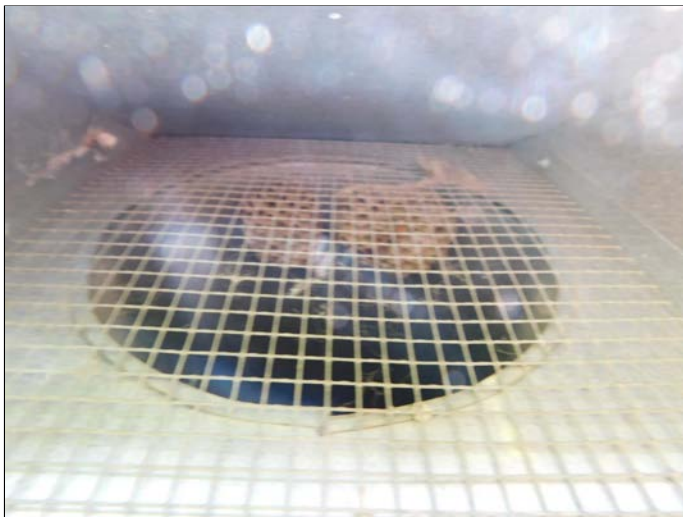
- (3) Moisture was noted at the back side wall of unit 9079 below the deck. Areas below the deck leger board were randomly scanned with a non-invasive moisture meter due to the lack of gutters. These areas can be vulnerable to water intrusion because of splashing water. Consider removing/un-snapping a piece of siding at this area to determine if there is any concealed damage. Gutters are recommended to help prevent accelerated deterioration at doors/decks.



- (4) There were gaps at the mortar at the brick veneer around the column at unit 9097. Have the gaps filled with mortar to help prevent water intrusion and further damage.



- (5) There were bee's / wasp's nests at the combustion air intake vents. Have them removed.



- (6) There were some small cracks and gaps at many of the garage foundation walls. Seal the cracks with mortar and monitor for any future movement.



- (7) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



12.2 Soffit and Fascia

- There was some loose and damaged sections of soffit at building 10. This could allow for pest intrusion and should be serviced.



Near 9083

12.3 Concrete and Flatwork

🔍 There was a crack noted at the garage floor or unit 9087. Repair the damage.



13. Building 11

Items

13.0 Caulking and Weatherstrip

🔍 Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



13.1 Siding, Trim, Doors and Overhead Doors

- (1) Unit 9106's door was off the track and appeared damaged. Have the overhead door repaired to allow proper functionality.



- (2) There was peeling paint noted at the overhead garage door of unit 9108. Have the door serviced.

- (3) There was bird nesting material located at unit 9114. Have the nests removed to help eliminate bird activity.



- (4) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



13.2 Soffit and Fascia

- There was a loose piece of aluminum wrap present at unit 9108. Repair as needed by re-fastening the aluminum wrap to the wood fascia.



14. Building 12

Items

14.0 Caulking and Weatherstrip

- 🔍 Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.



14.1 Porches, Patios and Decks

- 🔍 The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

14.2 Siding, Trim, Doors and Overhead Doors

- 🔍 (1) There was a blocked vent at building 12. Have this corrected for proper ventilation.



- (2) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



15. Building 13

Items

15.0 Lighting Fixtures and Outlets

- (1) There were loose outlets that should be secured to help prevent loosening of the wires which could lead to sparking or arcing at unit 9184. Have this corrected.
- (2) There was a melted globe at unit 9188. Have the globe replaced and have the light evaluated and repaired if needed by a licensed electrician.



15.1 Porches, Patios and Decks

- The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

15.2 Siding, Trim, Doors and Overhead Doors

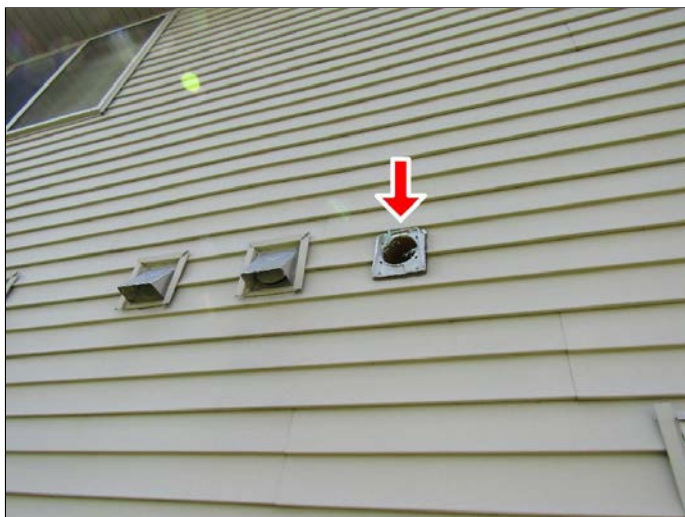
- (1) There was a damper caulked shut at 9188. This will prevent proper ventilation. Have this corrected.



- (2) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.



- (3) There was a missing vent terminal at the back of building 13.



Unit 9192

16. Building 14

Items

16.0 Lighting Fixtures and Outlets

- There was an exterior outlet that had a missing or a damaged weatherproof cover at unit 9224, 9226 and 9228, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.

16.1 Siding, Trim, Doors and Overhead Doors

- (1) There were damaged garage door panels noted at unit 9218. Repair or replace the damaged panels or whole door if necessary.
- (2) There were some relatively small vertical cracks in the concrete block walls, which are probably attributable to shrinkage and have little structural significance. Generally speaking, cracks in concrete block walls that are less than 1/4" are not considered to be structurally significant. Nonetheless, they should be monitored to see if there is active movement in this area.



(3) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.





(4) There was a damaged combustion air intake from the communication wire installation. Have this corrected to help prevent pest intrusion.



17. Building 15


Items

17.0 Lighting Fixtures and Outlets

-  (1) There was an exterior outlet that had missing or a damaged weatherproof cover at unit 9217, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.
-  (2) A light fixture at unit 9227 had broken or missing glass. Have the fixture repaired or replaced.



17.1 Caulking and Weatherstrip


-  Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.




17.2 Porches, Patios and Decks

The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

17.3 Siding, Trim, Doors and Overhead Doors

-  (1) There was bird nesting material located at unit 9219 and 9221. Have the nests removed to help eliminate bird activity.




-  (2) There was loose and possibly disconnected sump discharge pipe at unit 9221. Have this further investigated for correction to help prevent water damages inside the unit.



18. Building 16

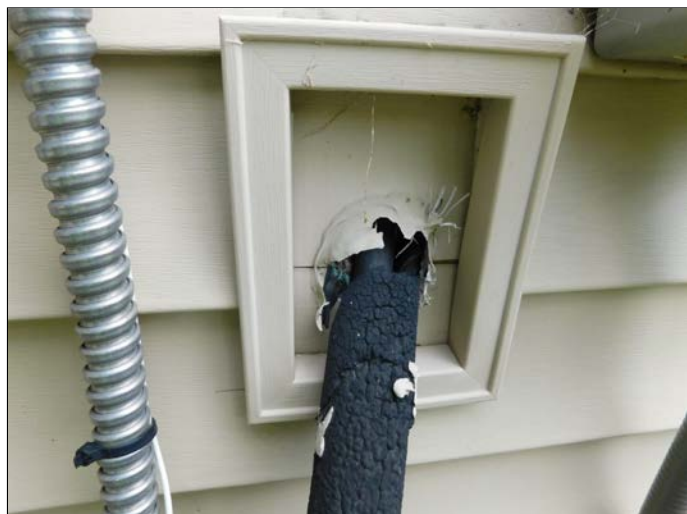
Items

18.0 Lighting Fixtures and Outlets

-  There was a exterior outlet that had missing or a damaged weatherproof cover at unit 9205, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.

18.1 Caulking and Weatherstrip

- ☑️ Caulk around the AC refrigerant lines where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.

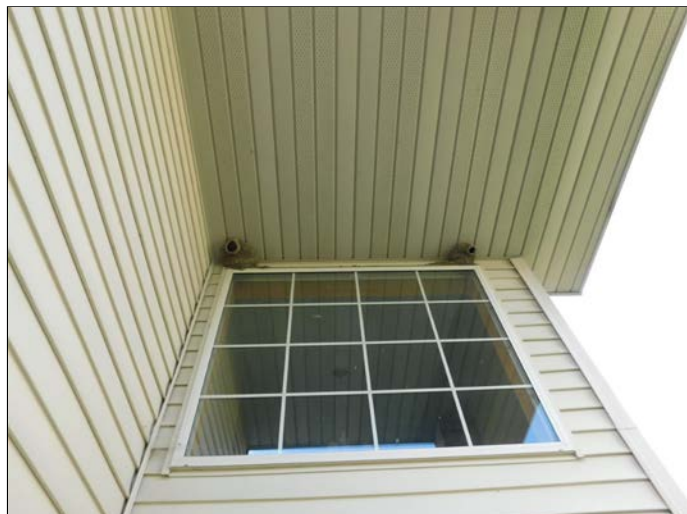


18.2 Porches, Patios and Decks

- ☑️ The patios at numerous units sloped toward the structure, which can lead to water intrusion and damage to the foundation wall. Have the slope corrected at the patios. Two common methods of leveling concrete are sandjacking and mudjacking.

18.3 Siding, Trim, Doors and Overhead Doors

- ☑️ (1) There was bird nesting material located at unit 9205 and 9201 Orchard Circle. Have the nests removed to help eliminate bird activity.





- (2) There was a bulge in the siding at building 16. Have this investigated further to determine a cause and correct as needed.




- (3) There was a loose, damaged or missing piece of vinyl siding at the building. Have the loose piece of siding secured to lower the potential for water intrusion or wind damage.



19. Building 17


Items

19.0 Caulking and Weatherstrip

 Caulk around the sump pump pipes where they enter the building. This will help prevent water intrusion, pest intrusion, and air leakage.




19.1 Siding, Trim, Doors and Overhead Doors

 (1) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.






 (2) There was a loose piece of metal wrap at the privacy wall at building 17. Have the covering secured to help prevent damage to the material or passerby.





20. Building 18

Items

20.0 Lighting Fixtures and Outlets

 There was an exterior outlet that had a missing or a damaged weatherproof cover at unit 9198, which should be replaced to help prevent damage to the affected outlets. Today's standards require weatherproof covers that allow a cord to be plugged in while the cover is in the closed position.

20.1 Siding, Trim, Doors and Overhead Doors

-  (1) There were damaged garage door panels noted at unit 9192, 9196 and 9198. Repair or replace the damaged panels or whole door if necessary.
-  (2) There were loose, damaged or missing pieces of vinyl siding at the building. Have the loose pieces of siding secured to lower the potential for water intrusion or wind damage.

